

FEES:

- \$300 Exempt Section 1031 Exchange per page
- \$100 Major Boundary Line Adjustment per page
- \$50 Minor Boundary Line Adjustment per page
- \$50 Compilation

RECEIVED

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JAN 09 2006 KITTITAS COUNTY ELLENSBURG, WA 98926

JAN 09 2006

Assessor's Office County Courthouse Rm. 102 Kittitas County Planning Department County Courthouse Rm. 182

KITTITAS COUNTY Assessor's Office County Courthouse Rm. 102

REQUEST FOR PARCEL SEGREGATION and BOUNDARY LINE ADJUSTMENTS

Must be signed by the County Community Planning Department and Treasurer's Office. It will not be accepted by the Assessor's Office until fully completed.

Applicant's Name: Jim Treat
PHONE # 360-875-1250 HM
253-261-6810 cell
City _____

C/O Cruise & Assoc.
Address _____

State, Zip Code 9102-8242
Phone (Work) _____

Phone (Home) _____
Original Parcel Number(s) & Acreage
(1 parcel number per line)

1820-18000-0006 (94.06)

Action Requested

- SEGREGATED INTO 4 LOTS
- "SEGREGATED" FOR MORTGAGE PURPOSES ONLY
- SEGREGATED FOREST IMPROVEMENT SITE
- ELIMINATE (SEGREGATE) MORTGAGE PURPOSE ONLY PARCEL
- BOUNDARY LINE ADJUSTMENT BETWEEN PROPERTY OWNERS
- BOUNDARY LINE ADJUSTMENT BETWEEN PROPERTIES IN SAME OWNERSHIP
- COMBINED AT OWNERS REQUEST

New Acreage
(Survey Vol. _____, Pg _____)

~~20, 20, 20, 31.06~~
20.67 AC, 23.78 AC,
17.89 AC, 3.00 AC, 30.06 AC

revised
version
June
2006

Applicant is: Owner Purchaser _____ Lessee _____ Other _____

Owner Signature Required [Signature]

Other _____

Treasurer's Office Review

Tax Status: _____

By: _____
Kittitas County Treasurer's Office

Date: _____

- This segregation meets the requirements for observance of intervening ownership. KRD No further use
- This segregation does meet Kittitas County Code Subdivision Regulations (Ch. 16.04 Sec. _____) Intervening ownership allowed.
- This segregation does meet Kittitas County Code Subdivision Regulations (Ch. 16.04.020 (5) BLA's) Intervening ownership allowed.
- This "segregation" is for Mortgage Purposes Only/Forest Improvement Site. "Segregated" lot shall not be considered a separate salable lot and must go through applicable short subdivision process in order to make a separately salable lot. (Page 2 required) TV 10/24

Card #: 11239-1

Parcel Creation Date: _____

Last Split Date: _____

Current Zoning District: AG-20

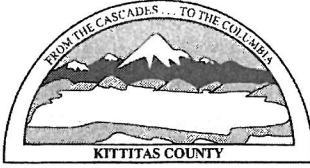
Review Date: 2-10-06 / revised reviewed 10/2/06

By: [Signature] / revised Approved

**Survey Approved: 10/7/06

By: [Signature] BLA/SEGI
00-00

Notice: Kittitas County does not guarantee a building site, legal access, available water, or septic areas for parcels receiving approval for BLA's or segregation. Please allow 3-4 weeks for processing.



KITTITAS COUNTY COMMUNITY DEVELOPMENT SERVICES

411 N. Ruby St., Suite 2, Ellensburg, WA 98926

CDS@CO.KITTITAS.WA.US

Office (509) 962-7506

Fax (509) 962-7682

MEMORANDUM

TO: Cruse and Associates, Authorized Agent

FROM: Joanna Valencia, Staff Planner *JV*

DATE: November 7, 2006

SUBJECT: Jim Treat Segregation

DESCRIPTION: Administrative Segregation/Intervening Ownership in the Ag-20 Zone

PARCEL NUMBER(s): 18-20-18000-0006 (for 5 lots on approximately 91.06 acres)

Kittitas County Community Development Services has reviewed the proposed Administrative Segregation/Intervening Ownership application received by Community Development Services on August 8, 2006 and hereby grants:

FINAL APPROVAL

Pursuant to Kittitas County Subdivision Code Chapter 16, please note the following items that must be completed prior to final approval of the boundary line adjustment and must be submitted to our office for review:

1. Full year's taxes need to be paid for all tax parcel numbers per requirement of the Kittitas County Treasurer's office. **The Treasurer's office will need to sign off on the attached Boundary Line Adjustment form prior to applicant submittal to the Assessor's office. After which, the complete application packet will need to be submitted to the Assessor's office for further processing.**
2. All KRD conditions have been met.
3. Please refer to the attached Kittitas County Public Works Memo for additional information.

Attachments: Approved Application
Preliminary BLA/Segregation Drawing
KC Public Works Comments

DARRYL PIERCY, DIRECTOR

ALLISON KIMBALL, ASSISTANT DIRECTOR

COMMUNITY PLANNING • BUILDING INSPECTION • PLANS EXAMINATION • ADMINISTRATION • PERMIT SERVICES • INVESTIGATION • ENFORCEMENT • GIS

Joanna F. Valencia

From: Keli Bender [krd.keli@elltel.net]
Sent: Tuesday, November 07, 2006 7:00 AM
To: Joanna F. Valencia
Subject: Re: Treat Segregation

Jim Treat has met all of the KRD requirements, therefore this segregation has been approved. If you need additional information, please let me know.
Keli

----- Original Message -----

From: Joanna F. Valencia
To: Keli Bender
Sent: Thursday, November 02, 2006 3:45 PM
Subject: Treat Segregation

Hi Keli,

Just checking in to see if Jim Treat has met the requirements? Thanks.

Joanna

Joanna Valencia

Planner II
Kittitas County Community Development Services
411 N Ruby Street #2
Ellensburg, WA 98926
joanna.valencia@co.kittitas.wa.us
[P] 509.962.7046
[F] 509.962.7682

Marco P. Rains

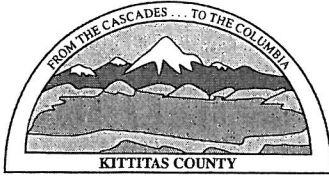
From: Keli Bender [krd.keli@elltel.net]
Sent: Thursday, March 09, 2006 2:50 PM
To: Marco P. Rains
Subject: Treat Segregation (file #SEG-06-06)

Marco;

In regards to the Jim Treat segregation, the southerly lots are within the district boundaries and contain irrigable ground. Conditions set forth in the KRD General Guidelines will need to be met prior to approval from this office. If you need additional information, please let me know.

Keli

Keli R. Bender
KRD Lands Clerk/RRA
(509) 925-6158



KITITAS COUNTY
DEPARTMENT OF PUBLIC WORKS

MEMORANDUM

RECEIVED

TO: Community Development Services
FROM: Randy Carbary, Planner II *RC*
DATE: November 2, 2006
SUBJECT: Jim Treat Parcel Segregation 18-20-18000-0006

NOV 02 2006

Kittitas County
CDS

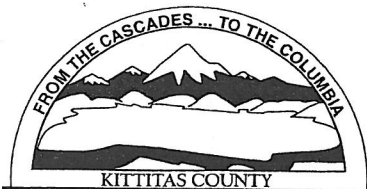
1. Our department has reviewed the Request for Parcel Segregation Application and finds that it meets current Kittitas County Road Standards. **Our department recommends Final Approval.**

The applicant needs to be aware of the following:

- a. An approved Access Permit shall be required from the Kittitas County Department of Public Works prior to creating any new driveway access or performing any work within the County Road Right of Way.
- b. Maintenance of driveway approaches shall be the responsibility of the owner whose property they serve. The County will not maintain accesses.
- c. Any further subdivision or lots to be served by proposed access may result in further access requirements. See Kittitas County Road Standards.
- d. All roads located within this development and/or providing access to this development shall be constructed to current county road standards. Any other maintenance agreements, forest service road easements, state easements or cities may require higher road standards. The higher of the road standards shall apply.
- e. Evidence of existing access and/or evidence of access to be created should be confirmed prior to sale of property.
- f. It appears that access to some of the lots created thru this Boundary Line Adjustment and Parcel Segregation involve KRD crossings. The applicant should contact the Kittitas Reclamation District regarding any additional requirements they may have.
- g. Access is not guaranteed to any existing or created parcel on this application.

In addition to the above-mentioned conditions, all applicable Kittitas County Road Standards apply to this proposal.

Please let me know if you have any questions or need further information.



Kittitas County Community Development Services

Darryl Piercy, Director

MEMORANDUM

TO: Cruse and Associates, Authorized Agent
KRD Irrigation District

FROM: Marco Rains, Planner I

DATE: February 3rd, 2006

SUBJECT: Jim Treat Segregation (File # SEG-06-06)

DESCRIPTION: Segregation of a 91.06 acre parcel into 4 parcels (20, 20, 20, and 31.06 acre each)

PARCEL
NUMBER(s): 18-20-18000-0006

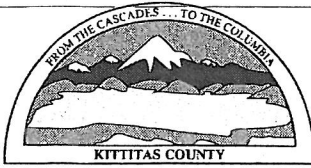
Kittitas County Community Development Services has reviewed the proposed administrative segregation application and hereby grants:

PRELIMINARY APPROVAL

Pursuant to Kittitas County Subdivision Code Chapter 16, please note the following items that must be completed prior to final approval of the segregation:

- 1.) A survey of the proposed segregation must be received and approved.
- 2.) In order to provide irrigation water to newly created lots, administrative segregations must meet KCC Subdivision Code Chapter 16.18 Irrigation requirements. A certificate/letter of approval must be received from the irrigation entity representative stating that the proposed parcel creation meets the irrigation entity requirements (KCC 16.18.030). It is the applicant's responsibility to contact the related irrigation district to fulfill any irrigation district requirements.
- 3.) Please see Kittitas County Public Works comment letter attached for additional information.

Attachments: Segregation Application
Preliminary Segregation Drawing
KC Public Works Comments



KITITITAS COUNTY COMMUNITY DEVELOPMENT SERVICES

411 N. Ruby St., Suite 2, Ellensburg, WA 98926

CDS@CO.KITITITAS.WA.US

Office (509) 962-7506

Fax (509) 962-7682

MEMORANDUM

TO: Cruse and Associates, Authorized Agent

FROM: Joanna Valencia, Staff Planner JV

DATE: October 2, 2006

SUBJECT: Jim Treat Segregation

DESCRIPTION: Administrative Segregation/Intervening Ownership in the Ag-20 Zone

PARCEL
NUMBER(s): 18-20-18000-0006 (for 5 lots on approximately 91.06 acres)

Kittitas County Community Development Services has reviewed the proposed Administrative Segregation/Intervening Ownership application received by Community Development Services on August 8, 2006 and hereby grants:

PRELIMINARY APPROVAL

Pursuant to Kittitas County Subdivision Code Chapter 16, please note the following items that must be completed prior to final approval of the boundary line adjustment and must be submitted to our office for review:

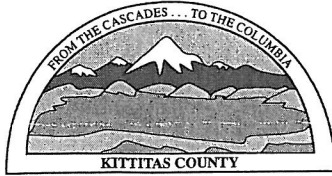
1. A survey of the Segregation reflecting the new acreage and lot dimensions must be submitted to our office and reviewed for final approval.
2. Full year's taxes need to be paid for all tax parcel numbers per requirement of the Kittitas County Treasurer's office. Please notify our office once the appropriate payments have been made.
3. In order to provide irrigation water to newly created lots, administrative segregations must meet KCC Subdivision Code Chapter 16.18 Irrigation requirements. The subject properties are shown to be located within the KR D Irrigation District. It is the applicant's responsibility to contact the related irrigation district to fulfill any irrigation district requirements. A certificate/letter of approval must be received and submitted to Kittitas County Community Development Services from the irrigation entity representative stating that the proposed parcel creation meets the irrigation entity requirements (KCC 16.18.030) prior to final approval.
4. Please refer to the attached Kittitas County Public Works Memo for additional information regarding additional requirements.

Attachments: BLA Application and maps
Preliminary BLA/Segregation Drawing
KC Public Works Comments

DARRYL PIERCY, DIRECTOR

ALLISON KIMBALL, ASSISTANT DIRECTOR

COMMUNITY PLANNING • BUILDING INSPECTION • PLANS EXAMINATION • ADMINISTRATION • PERMIT SERVICES • INVESTIGATION • ENFORCEMENT • GIS



KITTITAS COUNTY DEPARTMENT OF PUBLIC WORKS

Scott W. Bradshaw, P.E., Director

MEMORANDUM

TO: Marco Rains, Staff Planner, Community Development Services
FROM: Randy Carbary, Planner II *RC*
DATE: Jan 12, 2006
SUBJECT: Jim Treat Parcel Segregation 18-20-18000-0006

RECEIVED
JAN 25 2006
KITTTITAS COUNTY
CDS

Our department has reviewed the Request for Parcel Segregation Application and in order to ensure that it meets current Kittitas County Road Standards. The applicant needs to provide the following:

1. Prior to Final Approval the proposed access with appropriate easement(s) shall be shown and shall conform to applicable Kittitas County Road Standards.

The applicant needs to be aware of the following:

- a. An approved Access Permit shall be required from the Kittitas County Department of Public Works prior to creating any new driveway access or performing any work within the County Road Right of Way.
- b. Maintenance of driveway approaches shall be the responsibility of the owner whose property they serve. The County will not maintain accesses.
- c. Any further subdivision or lots to be served by proposed access may result in further access requirements. See Kittitas County Road Standards.
- d. All roads located within this development and/or providing access to this development shall be constructed to current county road standards. Any other maintenance agreements, forest service road easements, state easements or cities may require higher road standards. The higher of the road standards shall apply.
- e. Evidence of existing access and/or evidence of access to be created should be confirmed prior to sale of property.
- f. **Access is not guaranteed to any existing or created parcel on this application.**

In addition to the above-mentioned conditions, all applicable Kittitas County Road Standards apply to this proposal.

Please let me know if you have any questions or need further information.

FEES:

- \$300 Exempt Section 501(c)(3) organization per page
- \$100 Major Boundary Line Adjustment per page
- \$50 Minor Boundary Line Adjustment per page
- \$50 Compensation

RECEIVED

RECEIVED

JAN 09 2006

JAN 09 2006

Assessor's Office
County Courthouse Rm. 102

KITTITAS COUNTY
ELLENSBURG, WA 98926

Planning Department
County Courthouse Rm. 182

KITTITAS COUNTY
Assessor's Office
County Courthouse Rm. 102

REQUEST for PARCEL SEGREGATION and BOUNDARY LINE ADJUSTMENTS

Must be signed by the County Community Planning Department and Treasurer's Office. It will not be accepted by the Assessor's Office until fully completed.

Applicant's Name Jim Treat
PHONE # 360-875-1250 HM
253-261-6810 CELL
City _____

Address 410 Cruse Assoc.
State, Zip Code 962-8242
Phone (Work) _____

Phone (Home) _____

Original Parcel Number(s) & Acreage
(1 parcel number per line)

Action Requested

New Acreage
(Survey Vol. _____, Pg _____)

1820-18000-0006

- SEGREGATED INTO 4 LOTS
- "SEGREGATED" FOR MORTGAGE PURPOSES ONLY
- SEGREGATED FOREST IMPROVEMENT SITE
- ELIMINATE (SEGREGATE) MORTGAGE PURPOSE ONLY PARCEL
- BOUNDARY LINE ADJUSTMENT BETWEEN PROPERTY OWNERS
- BOUNDARY LINE ADJUSTMENT BETWEEN PROPERTIES IN SAME OWNERSHIP
- COMBINED AT OWNERS REQUEST

20, 20, 20, 31.06

Applicant is: Owner Purchaser _____ Lessee _____ Other _____

Owner Signature Required [Signature]

Other _____

Treasurer's Office Review

Tax Status: _____

By: _____
Kittitas County Treasurer's Office

Date: _____

Planning Department Review

- () This segregation meets the requirements for observance of intervening ownership.
- () This segregation does meet Kittitas County Code Subdivision Regulations (Ch. 16.04 Sec. _____)
- This segregation does meet Kittitas County Code Subdivision Regulations (Ch. 16.04.020 (5) BLA's) Deed Recording Vol. _____ Page _____ Date _____ **Survey Required: Yes No _____
- () This "segregation" is for Mortgage Purposes Only/Forest Improvement Site. "Segregated" lot shall not be considered a separate salable lot and must go through applicable short subdivision process in order to make a separately salable lot. (Page 2 required)

Card #: 11239-1

Parcel Creation Date: _____

Last Split Date: _____

Current Zoning District: _____

Review Date: 2-10-06

By: [Signature]

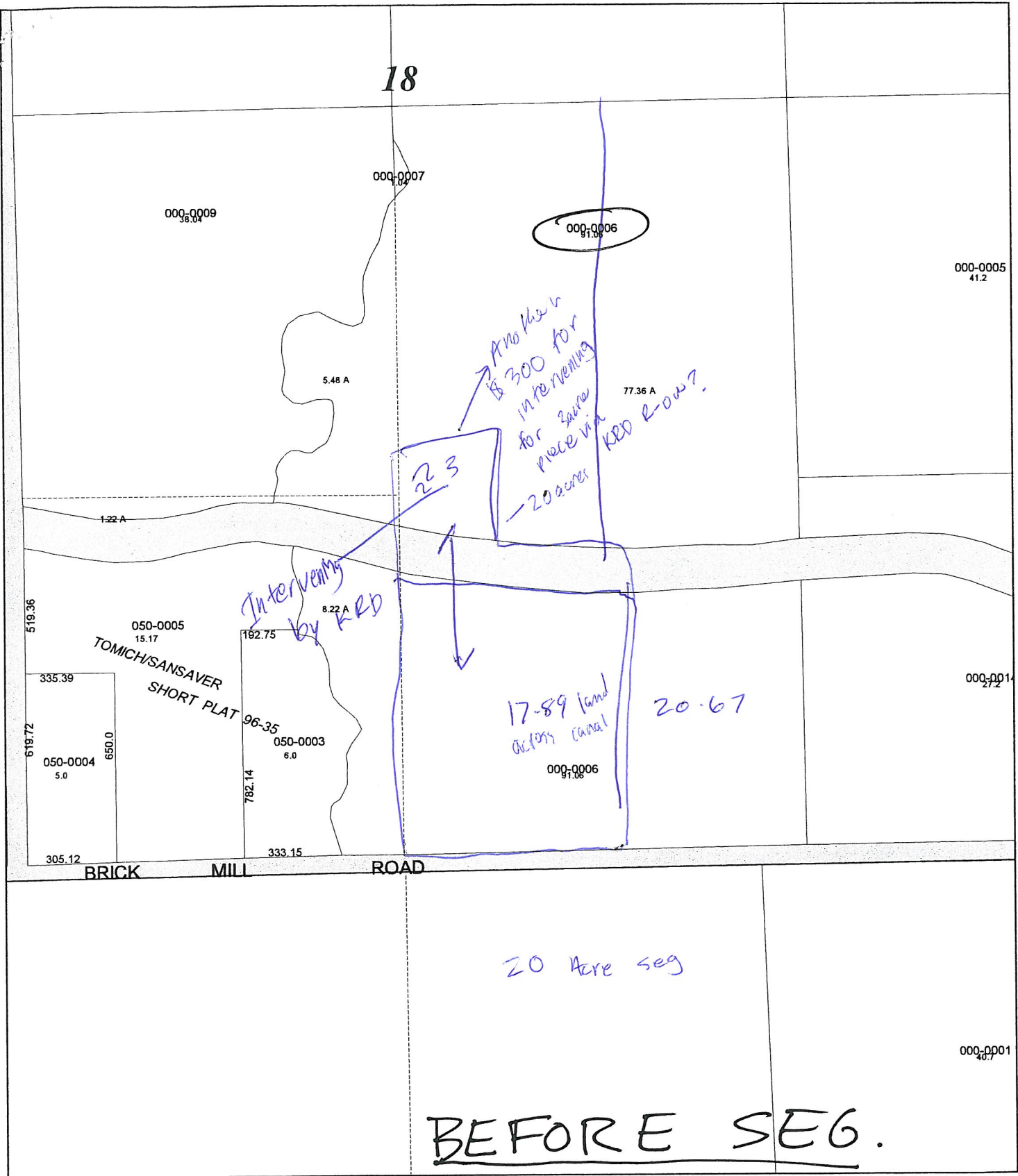
**Survey Approved: _____

By: _____

BLA/SEGI
OU-00

Notice: Kittitas County does not guarantee a building site, legal access, available water, or septic areas for parcels receiving approval for BLA's or segregation. Please allow 3-4 weeks for processing.

18



Township: 18 Range: 20 Section: 18

ParcelView 4.0.1

Copyright (C) 2002 Kittitas County
 Kittitas County Assessor's Office
 205 W 5th, Courthouse Room 101
 Ellensburg, WA 98926
 (509)962-7501
 Data Set: 8/23/2002 9:17:26 AM



Scale: 1 inch = 458 feet

This Map is maintained only as an aid in the appraisal and assessment of real property. The County Assessors Office does not warrant its accuracy.

18

000-0009
38.04

000-0007
1.04

000-0006
91.08

000-0005
41.2

5.48 A

77.36 A

1.22 A

519.36

8.22 A

050-0005
15.17

TOMICH/SANSAVER
SHORT PLAT 96-35

192.75

050-0003
6.0

000-0014
27.2

335.39
050-0004
5.0
650.0

782.14

000-0006
91.08

305.12

333.15

BRICK MILL ROAD

000-0001
40.7

BEFORE SEG.

Township: 18 Range: 20 Section: 18

ParcelView 4.0.1

Copyright (C) 2002 Kittitas County
Kittitas County Assessor's Office
205 W 5th, Courthouse Room 101
Ellensburg, WA 98926
(509)962-7501
Data Set: 8/23/2002 9:17:26 AM



Scale: 1 inch = 458 feet

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(AFTER) PROPOSED SEG.

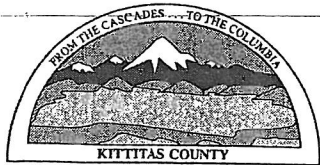
Township: 18 Range: 20 Section: 18

ParcelView 4.0.1

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 Kittitas County Assessor's Office
 205 W 5th, Courthouse Room 101
 Ellensburg, WA 98926
 (509)962-7501
 Data Set: 8/30/2005 8:52:57 PM



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KITITITAS COUNTY COMMUNITY DEVELOPMENT SERVICES

411 N. Ruby St., Suite 2, Ellensburg, WA 98926

CDS@CO.KITITITAS.WA.US

Office (509) 962-7506

Fax (509) 962-7682

MEMORANDUM

To: Chris Cruse, Cruse and Associates

From: Joanna Valencia, Staff Planner *JV*

Date: June 2, 2006

Subject: **Jim Treat Segregation (File # SEG-06-06)**

RECEIVED

AUG 08 2006

Kittitas County
CDS

The purpose of this memo is to address the inquiries you had regarding the before mentioned project.

Jim Treat Segregation (File # SEG-06-06)

You inquired regarding discovering the problem coming up of not having 40 acres south of the canal and not being able to meet the minimum acreage requirement for the exempt segregation per the preliminary drawing you submitted on January 9th, 2006 with the request for a segregation application form that was reviewed and granted preliminary approval on February 3rd, 2006 by our office.

After reviewing the documents and the revised preliminary drawing you submitted depicting the problem and what was out on the field on May 19th, 2006, it has been determined that the current proposal for segregation meets the minimum lot size allowed as defined in KCC 16.08.015, as none of the lots are less than 20 acres and you are creating fewer than 10 lots. Please amend the submitted application to reflect the appropriate acreages, as it seems that the numbers you ended up with on the survey differ from the application submitted on January 9th, 2006.

Also pursuant to KCC 16.08.015, further division of this land that reduces the size below 20 acres or further subdivides the subject parcel will need to be done under the provisions for short plat, large lot subdivision or plat. The appropriate method of the division will be determined based on the size and number of lots being proposed.

16.08.015 Administrative segregation.

"Administrative segregation" means the division of land within the boundaries of a legal description into fewer than ten lots or tracts where no lot or tract is less than twenty (20) acres; provided that the parent parcel was not created by a division within a five-year period. Land divided by administrative segregation shall not be reduced in size below 20 acres or further subdivided without review under the provisions for short plat, large lot subdivision or plat. The appropriate method of division will be determined based on the size and number of lots being proposed. Administrative segregations must comply with KCC 16.18 and KCC Title 12 Road Standards. (Ord. 2005-31, 2005)

Hope this helps. Let me know if you have any further questions. Thanks.

DARRYL PIERCY, DIRECTOR

ALLISON KIMBALL, ASSISTANT DIRECTOR

COMMUNITY PLANNING • BUILDING INSPECTION • PLANS EXAMINATION • ADMINISTRATION • PERMIT SERVICES • INVESTIGATION • ENFORCEMENT • GIS

1. Preliminary approval given 2-3-06
2. Awaiting survey and irrigation approval letter as of 2-24-06
- 3.

Segregation into

4 lots only.

Need intervening
ownership app.

+ proof of intervening

R-O-W

5/19/06

Check w/ Darryl

See map

Its an exempt seg

they can create 20 acres

one of the 20's is

creating intervening.

can we honor seg + interven

CRB 111-3

KITTITAS COUNTY CDS
411 N. Ruby Suite #2
ELLENSBURG, WA 98926

ACCOUNT		HOW PAID	
AMT. OF ACCOUNT		CASH	300 00
AMT. PAID	300 00	CHECK	
BALANCE DUE		MONEY ORDER <input type="checkbox"/>	
		CREDIT CARD <input type="checkbox"/>	

CASH RECEIPT Date 5/19/2006 45096

Received From JIM TREAT

Address _____

For BLA Application Dollars \$ 300.00

By Amber Allen